



## MANUFACTURED HOME PERMIT

A useful guide to our permit process for manufactured homes in Cherokee County

## Types of Homes:

According to Georgia State Law, there are two types of mobile homes; **manufactured** or **mobile**.

A **manufactured** home is built to the Manufactured Home Construction and Safety Standards ([HUD Code](#)) and displays a red certification label on the exterior of each transportable section. The HUD Code provides the design and construction requirements for the home, with some modifications permitted for on-site completion. Manufactured homes are built in the controlled environment of a manufacturing plant and are transported in one or more sections on a permanent chassis.



A **mobile home** is a factory-built dwelling built prior to June 15, 1976, to standards other than the [HUD Code](#), (pre-HUD Code Home) that were acceptable under applicable state codes in effect at the time of construction or introduction of the home into the state.

## Requirements in Cherokee County

- All homes to be installed in Cherokee County must be manufactured homes.
- Mobile homes installed prior to August 25, 1991 are permitted to remain as legal non-conforming land uses.
- Single-wide manufactured homes are permitted only on AG (Agricultural) zoned property.
- Minimum floor area of 900 square ft

## Do I need a permit if I want to install a manufactured home in Cherokee County?

Yes. A building permit for the installation of a manufactured home is required. Cherokee County will verify by review of survey/plat of property and on-site inspections that the home is installed in compliance with building codes and zoning regulations. If the property is on septic and or has a well, permits from the Environmental Health Department will be required prior to applying for your permit. New driveways will need to be approved by the Engineering Department.

### Building permit process

To begin the process for a Manufactured/Mobile Home Permit, please review this guide entirely. For additional questions and information, please call the Development Service Center at 770-721-7810 or email us at [dsc@cherokeega.com](mailto:dsc@cherokeega.com)

The following items are required in order to obtain a permit

- Septic permit –you must apply with the Office of Environmental Health prior to applying with us
- Approved [driveway permit](#)
- Approved address assigned by GIS department (for new homes)
- A Completed [Manufactured Home Permit Application](#)
- Proof of ownership - you can present your bill of sale, MSO, or title
- Proof of water service
- Permit fees and Impact fees
- House location plan
- State licensed installer's information and a copy of their state license



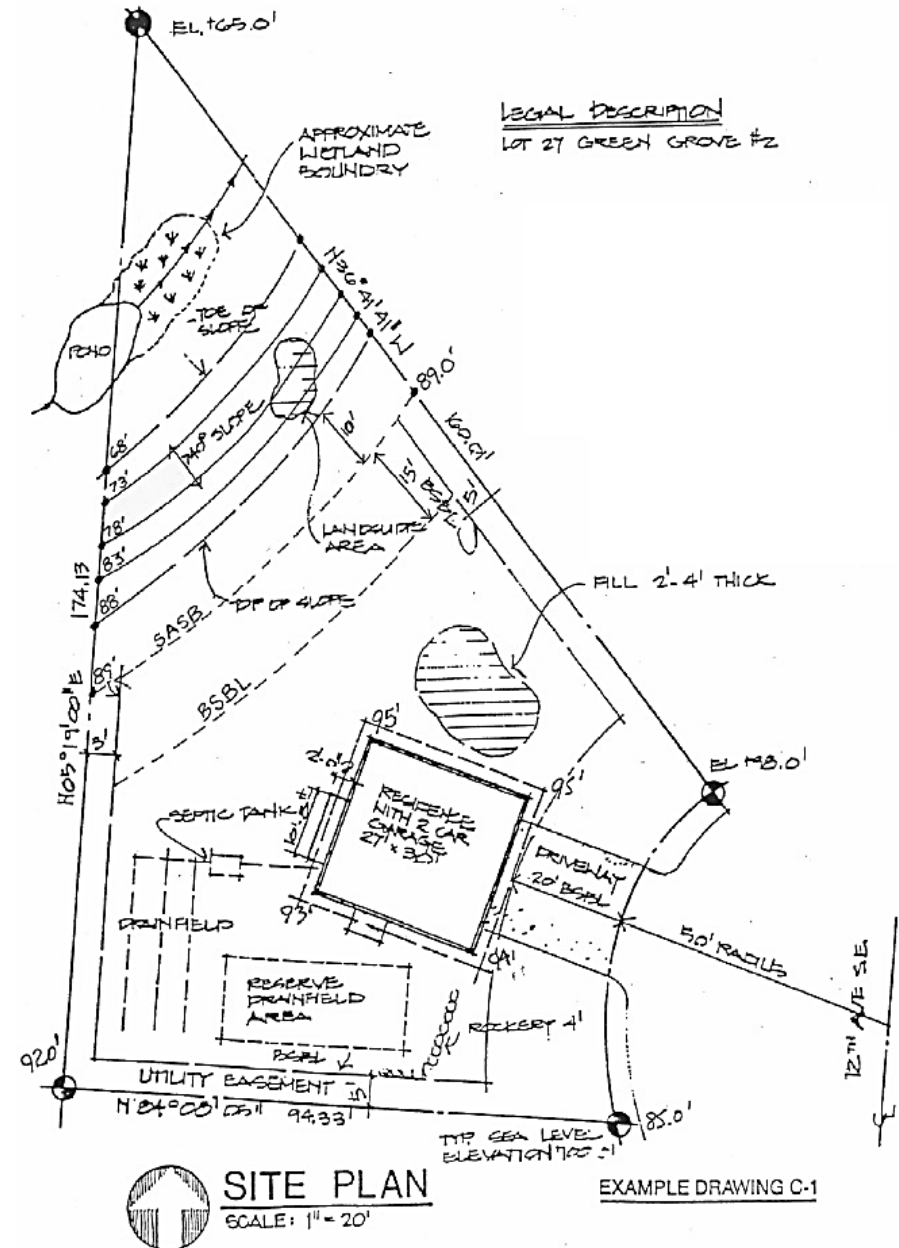
- House location plan - this could be a survey of your property or a plat of the property. You can obtain a copy (if available) at the office of Deeds and Records. Use the following checklist to ensure site plan or survey is complete. You can draw the information on a copy of your property survey.

The site plan must include:

- Title
- Scale
- North arrow
- Street name, address and legal description
- Property lines and dimensions
- Rights-of-way and easements
- Setbacks from all property lines to existing and proposed structures
- Location and dimensions of all existing and proposed buildings, structures, porches, decks, retaining walls showing use and dimensions.
- Driveway locations
- Wetlands, streams or bodies of water
- Abutting streets and lanes
- Any building or structures to be demolished

If applicable,

- Well location
- Septic tank location and field lines



## **Fees:** *all fees are due at time of application*

Building Permit Fee

Certificate of Occupancy \$50.00

Re-inspection fees \$25.00 (if applicable)

Impact fees for all new homes \$2560.59 (does not apply to change outs)

We accept cash, check and credit cards (a 3% convenience fee will apply)



## **Inspections:**

Inspections are required for manufactured homes. After applying for your building permit you will be able to schedule your inspections Online using our CityView Portal.

- a. Your first inspection is to make sure erosion and sediment control is in place. **A foundation survey is required for all new and replacement homes and must be uploaded before the rough inspection can be performed.**
- b. Rough Inspection - When a manufactured home is placed on the site, the support system has been installed and tie-downs have been installed, **under pinning/skirting is not in place for this inspection.**
- c. Temp to Perm- permanent power will be approved when this inspection is passed. TCP Affidavit must be on file before this inspection can be scheduled.
- d. Deck Footings- Deck posts must be secured and rest on poured footings. Request an inspection prior to placing concrete or a third party engineer letter will be required. **Do not secure deck to manufactured home.**
- e. Final Inspection – Skirting is installed, front and rear porches are complete. Applicant has installed or hooked up to a well or public water system. Inspector will sign off for electrical, plumbing and gas piping.

It is the responsibility of the applicant to schedule inspections. A certificate of occupancy will not be issued without an approved final inspection. Manufactured homes need to be installed by a Georgia licensed or registered installer in accordance with the manufacturer's installation instructions.

## Temporary Manufactured Home permits due to hardship

A manufactured home may be temporarily placed when the applicant can show extreme hardship. Cases of extreme hardship are defined by the Cherokee County Zoning Ordinance Article 7.7.1

- Hardship due to loss of use of a home due to fire, flood, or other damage making it unfit or unsafe to occupy
- Hardship due to extensive remodeling of a home or building making the structure unsuitable for occupancy
- Hardship due to health related problems of a family relative which warrants proximity of that relative to provide daily care

All hardship applications will be temporary and effective for 12 months maximum. Extensions may be approved in 12 months increments subject to demonstration of continuing hardship



All applications must be supported by affidavits alleging the facts. Medical affidavits must be signed by a physician stating the health problems and the necessity of care and monitoring.

- A manufactured home can also be placed on a site temporarily for six months for residential purposes while a site-built home is constructed. Extensions may be allowed.

***For Temporary or Hardship application process and information, please contact Cherokee County Zoning Department 678-493-6103***

## Manufactured Home Taxation

Manufactured/Mobile Homes are considered personal property and are taxable in the State of Georgia. If you are locating a manufactured home in Cherokee County, you must contact the Tax Assessor's Office and register your home as soon as possible. Each year every manufactured/mobile home owner shall pay all taxes due to the Tax Commissioner's Office on or before May 1. All outstanding taxes must be paid, including penalties and interest before a location permit is issued. For more information and applications please contact the Tax Assessor's Office at 678-493-6128.

### Contact us at:



**Location:** 1130 Bluffs Parkway, Canton, GA 30114

**Phone:** 770-721-7810

**Office Hours:** Monday – Friday, 8:00AM to 5:00PM (we stop taking applications at 4:30PM)

**Website:** [www.cherokeega.com](http://www.cherokeega.com) and visit our web page under [Development ServiceCenter](#)  
Schedule inspections by logging in to our [CityView Portal](#)

### Other important contact information:

- [Environmental Health](#) 770-479-0444 for septic/well information
- [GIS/Mapping](#) 678-493-6050 for obtaining new addresses
- [Planning & Land Use](#) 678-493-6103 for hardship cases information
- [Tax Assessor's Office](#) 678-493-6128 for tax and registration information